



EDINA MINNESOTA

City Council Work Session Meeting Agenda

April 7, 2026, 5:30 PM

Edina City Hall, Community Room, 4801 W. 50th St.



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Better
Together

Accessibility Support:

The City of Edina wants all residents to be comfortable being part of the public process. If you need assistance in the way of hearing amplification, an interpreter, large-print documents or something else, please call 952-927-8861 at least 72 hours in advance of the meeting.

1. Call to Order

2. Roll Call

3. Meeting Topics

3.1. Zoning and Subdivision Ordinance Update - R-1 Analysis

4. Adjournment



Item Number: 3.1

Department: Community Development

Item Activity: Discussion

Prepared By: Addison Lewis, Community Development
Coordinator

Item Title: Zoning and Subdivision Ordinance Update - R-1 Analysis

Action Requested:

None, discussion only.

Information/Background:

Staff and the consultant, ZoneCo, will provide a review of the issues with the R-1 district standards that were identified in the Zoning/Subdivision Ordinance Audit report completed in 2024 and discuss options for resolving them. A summary of the R-1 district analysis is attached.

The Zoning/Subdivision Ordinance Audit report may be found under the "Documents" section on the [Better Together Edina project page](#).

Resources/Financial Impacts:

It is intended that the update will improve clarity, eliminate contradictions and make it easier to administer and find information in the code. This will reduce the amount of time that planning and legal staff spend on unnecessary code issues in the future. It will also reduce the amount of money property owners spend on land use applications.

Relationship to City Policies/Plans/Budget Pillars:

Updating the City's development regulations will help to achieve the desired development outcomes and goals of the Comprehensive Plan and small area plans.

The update will provide a more user-friendly code that is clear, well-organized, and easier to understand.



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Values Impact:The Zoning and Subdivision Ordinance Update will reflect the City's values in the following ways:



Engagement

The City has undertaken extensive community engagement as part of the Comprehensive Plan and small area plans to gather feedback about land use and what future development should look like. Updating development regulations accordingly is essential for implementing those plans.



Equity

Land use regulations have implications for equity. For example, they can impact the cost of housing and peoples' ability to get around without a car. Code revisions will be analyzed in terms of their impact on equity.



Health

How land is used and the way it is developed has implications for the health of the community. For example, it can impact the amount of green space and peoples' ability to bike and walk to places. Code revisions will be analyzed in terms of their impact on health.



Stewardship

It is intended that the update will improve clarity, eliminate contradictions and make it easier to find information within the code. This will reduce the amount of time that planning and legal staff spend on unnecessary code issues in the future. It will also reduce the amount of money property owners spend on unnecessary land use applications.



Sustainability

How land is used and developed has implications for the city's ecological footprint. For example, the Climate Action Plan has goals by 2030 to reduce vehicle miles traveled by 7%, double public transit ridership from 3.3% to 6.6%, and increase average population per developed acre by 4%. Achieving these goals will be influenced by the City's land use regulations. Better aligning land use regulations with the Comprehensive Plan and small area plans will assist the City in meeting these goals.

Supporting Documentation:

Documents marked with "Board Portal" do not meet [ADA Web Content Accessibility Guidelines \(URL\)](#) and are not included in the public packet. To request a board portal document, please [submit a data request \(URL\)](#).

1. R-1 Analysis Summary
2. Staff Presentation
3. Draft R-1 Subarea Map (Board Portal)

Zoning Code Rewrite Progress Report

Single Dwelling Unit (R-1) District

Introducing the R-1 District

Designed for families.

The R-1 District is intended to accommodate and preserve Edina's single-family homes. Property owners in the R-1 District are predominately residents of the City.

Standards in the R-1 District should be easy for homeowners to understand.

Prominent.

The R-1 District encompasses more than 61 percent of the City's parcels. That accounts for 92 percent of the City's residentially-zoned land.

Complexity in the R-1 District impacts nearly the entire City.

Existing R-1 District Lot Standards

Minimum Lot Size

9,000 square feet; provided, however, if the lot is in a neighborhood, as defined in Chapter 32, which has lots with a median lot area greater than 9,000 square feet, then the minimum lot area shall be not less than the median lot area of the lots in such neighborhood.

Minimum Lot Width

75 feet; provided, however, if the lot is in a neighborhood, as defined in Chapter 32, which has lots with a median lot width greater than 75 feet, then the minimum lot width shall be not less than the median lot width of lots in such neighborhood.

Minimum Lot Depth

120 feet; provided, however, if the lot is in a neighborhood, as defined in Chapter 32, which has lots with a median lot depth greater than 120 feet, then the minimum lot depth shall be not less than the median lot depth of lots in such neighborhood.

Minimum Lot Width-to-Perimeter Ratio

0.1

Observation of Existing Standards

Administrative Burden

Current median-based standards require official surveying of multiple neighboring properties before construction can even begin. This can be burdensome for single-family homeowners and City staff alike.

Barrier to Housing

Overly complex dimensional standards result in larger lot sizes and setbacks than necessary, restricting density and supply.

Review Methodology

Following the project kick-off in July, the Planning Division and consultant team conducted analysis on a sample of 10 lots in 37 of Edina's 44 neighborhoods using satellite imagery and Hennepin County GIS data. For each lot, the team sampled the following measurements.

Lot size.

The area within the lot lines exclusive of land located below the ordinary high-water elevation of lakes, ponds and streams.

Lot width.

The horizontal distance between side lot lines, measured at right angles to the line establishing the lot depth at a point of 50 feet from the front lot line.

Front setback.

The shortest horizontal distance from the forward most point of a building or structure to the nearest point on the front lot line. Within the Greater Southdale District, front street setbacks shall be measured from the forward most point of a building or structure to the face of curb per Section 36-1276.

Side setback.

The shortest horizontal distance from any part of a building or structure to the nearest point on an interior side lot line.

On a corner lot, the street side setback is the shortest horizontal distance from any part of a building or structure to the nearest point on a side lot line that adjoins a street. Within the Greater Southdale District, side street setbacks shall be measured from the forward most point of a building or structure to face of curb per section 36-1276.

Key Sampling Takeaways

Massive Variation

Lot sizes vary significantly from neighborhood to neighborhood. The median lot size sampled in Country Club was 7,369 sq. ft. while the median lot size sampled in Rolling Green was 50,152 sq. ft.

Lot Width Correlation

Lot width approximately correlates with lot size, but the minimum lot width requirements currently treat all lots in the R-1 District the same.

Setback Creep

While front setback standards allow flexibility, the median setback standard pushes the minimum setback further and further from the front lot line.

Proposed Solutions

Create R-1 District Lot Size Subareas

R-1 District Lot Size Subarea	Minimum Lot Size
A-8	8,712 sq. ft.
A-10	10,000 sq. ft.
A-15	15,000 sq. ft.
A-20	20,000 sq. ft.

Tie Minimum Lot Widths to the R-1 District Subareas

R-1 District Lot Size Subarea	Minimum Lot Size	Minimum Lot Width
A-8	8,712 sq. ft.	50 ft.
A-10	10,000 sq. ft.	75 ft.
A-15	15,000 sq. ft.	90 ft.
A-20	20,000 sq. ft.	100 ft.

Recalibrate Setback Relief Tools to Prevent Setback Creep

- A. *Established front setback.* Where the average front setback of the lots containing dwelling units which front the same street as and abut the subject lot is less than the minimum required by Table XX, the minimum front setback shall be determined as follows:
 1. If the subject lot abuts only one lot on the same block face containing a dwelling unit, the principal building shall be set back from the front lot line not less than the established front setback on the adjacent lot containing the dwelling unit.
 2. If the subject lot abuts more than one lot on the same block face containing a dwelling unit, the principal building shall be set back from the front lot line not less than the average front setback of the two lots abutting the subject lot.

Testing Effectiveness

To determine whether the proposed standards would limit lot splits effectively, the Planning Division and consultant team conducted analysis on a sample of 10 lots in each neighborhood.

Where multiple R-1 District Lot Size Subareas existed in the same neighborhood, the team sampled 10 lots in each subarea in that neighborhood.

470

The Planning Division and consultant team sampled 470 lots, including 10 lots in every neighborhood containing a lot in the R-1 District.

1.4 %

Across all lots sampled, only seven lots - 1.4 percent - were eligible for a lot split on the grounds of lot size and lot width.

2

Amongst the seven lots identified as being eligible for a lot split, only two lots were identified as eligible for more than one lot split.



The CITY of
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Zoning and Subdivision Ordinance Update

April 7, 2026

EdinaMN.gov

How did we get here

- Current Zoning Ordinance adopted in 1970
- 2024 Zoning and Subdivision Ordinance Audit documented numerous issues with existing code. Some key findings included:
 - The zoning districts should better align with the 2040 Comprehensive Plan land use categories.
 - Simple development projects often must seek approval through a PUD rezoning, since current conventional districts are not well aligned with the 2040 Comprehensive Plan.
 - The zoning districts are hard to administer and apply to proposed development applications because they are overly specific in terms of allowed uses and standards.
 - The R-1 district's minimum front yard setback, lot area, lot width, and lot depth standards are overly complex and serve as barriers to housing development and a burden to existing home owners.



Purpose of a Zoning Code

From League of Minnesota Cities Zoning Guide

- Once a city adopts a comprehensive plan, it needs a means of attaining the development goals stated in the plan. Zoning provides a means for implementing a comprehensive plan.
- Cities should strive for zoning that meets their goals as simply and efficiently as possible.
- Drafting a well-organized, easy to understand ordinance benefits all. A good zoning ordinance:
 - Makes information easy to find.
 - Is easy to administer and amend
 - Uses plain, well-defined language that reduces the potential for erroneous or controversial interpretations.



Project Goals

- Improve the organization
- Simplify the code
- Improve clarity and understanding. Incorporate graphics where appropriate.
- Update existing zoning districts or create new zoning districts to better align with the Comprehensive Plan and small area plans.
- Incorporate appropriate development incentives for things like affordable housing, public space, and sustainable building techniques in exchange for additional height, density, FAR, etc.
- Update and modernize the list of permitted, conditional and accessory uses and locate them in a table.
- Update and modernize definitions for improved clarity and locate them in one place. Ensure consistent terminology is used throughout the code
- Review and update development procedures as needed (site plan review, rezoning, minor subdivision, etc.)



Front Yard Setback (1)

1) *Special setback requirements for single dwelling unit lots.*

- a. Established front street setback. When more than 25 percent of the lots on one side of a street between street intersections, on one side of a street that ends in a cul-de-sac, or on one side of a dead-end street, are occupied by dwelling units, the front street setback for any lot shall be determined as follows:
 1. If there is an existing dwelling unit on an abutting lot on only one side of the lot that has a front street setback on the same street, the front street setback requirement shall be the same as the front street setback of the dwelling unit on the abutting lot on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections.
 2. If there are existing dwelling units on abutting lots on both sides of the lot that both have a front street setback on the same street, the front street setback shall be the average of the front street setbacks of the dwelling units on the two abutting lots on the same street; or the front street setback shall be the average front street setback of all other dwelling units on the same side of that street, between intersections.



Front Yard Setback (2)

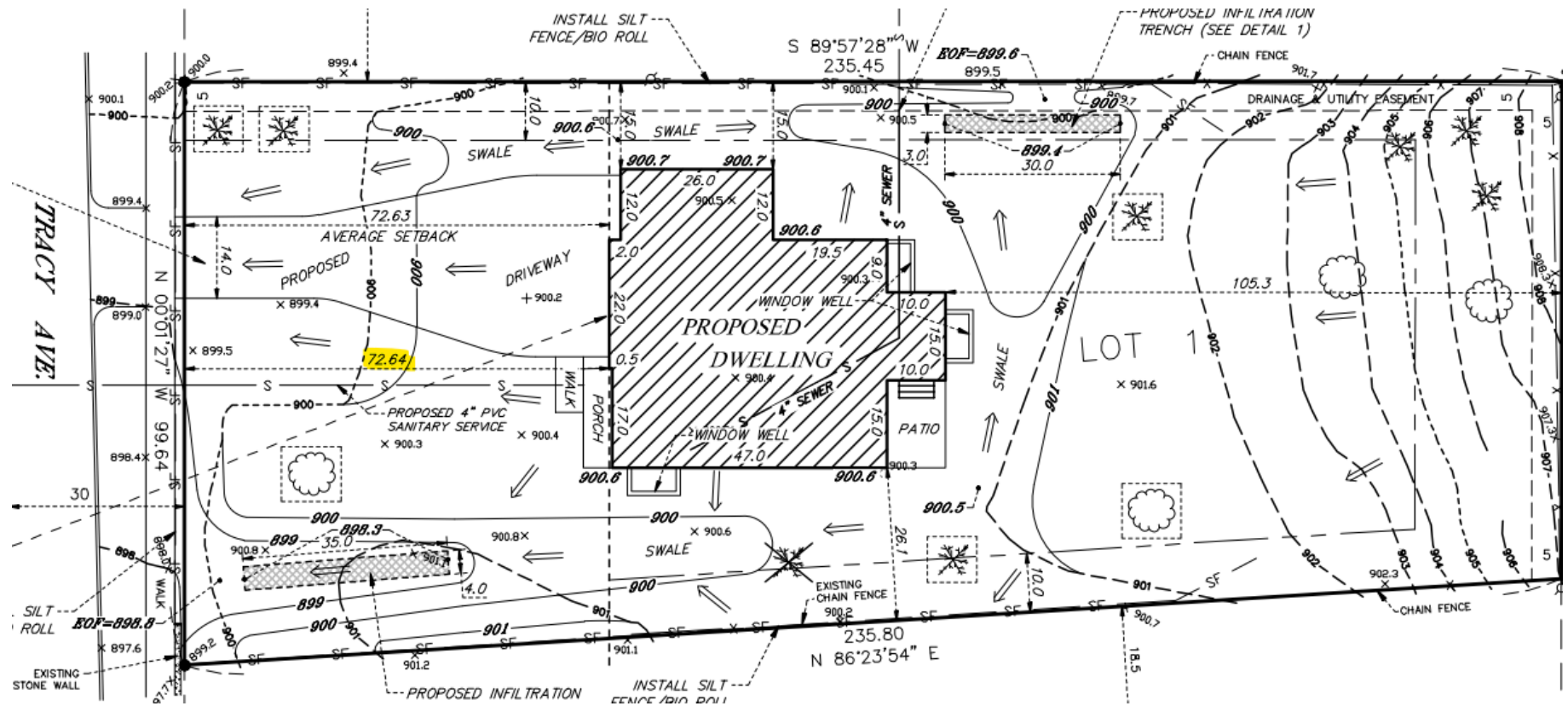
- 6001 Tracy

	Existing Setback (ft)	Required Setback (ft)
6001	34.1	72.63
6005	144.2	35.1
6009	36.1	71.97
6013	37.6	36.1



Front Yard Setback (3)

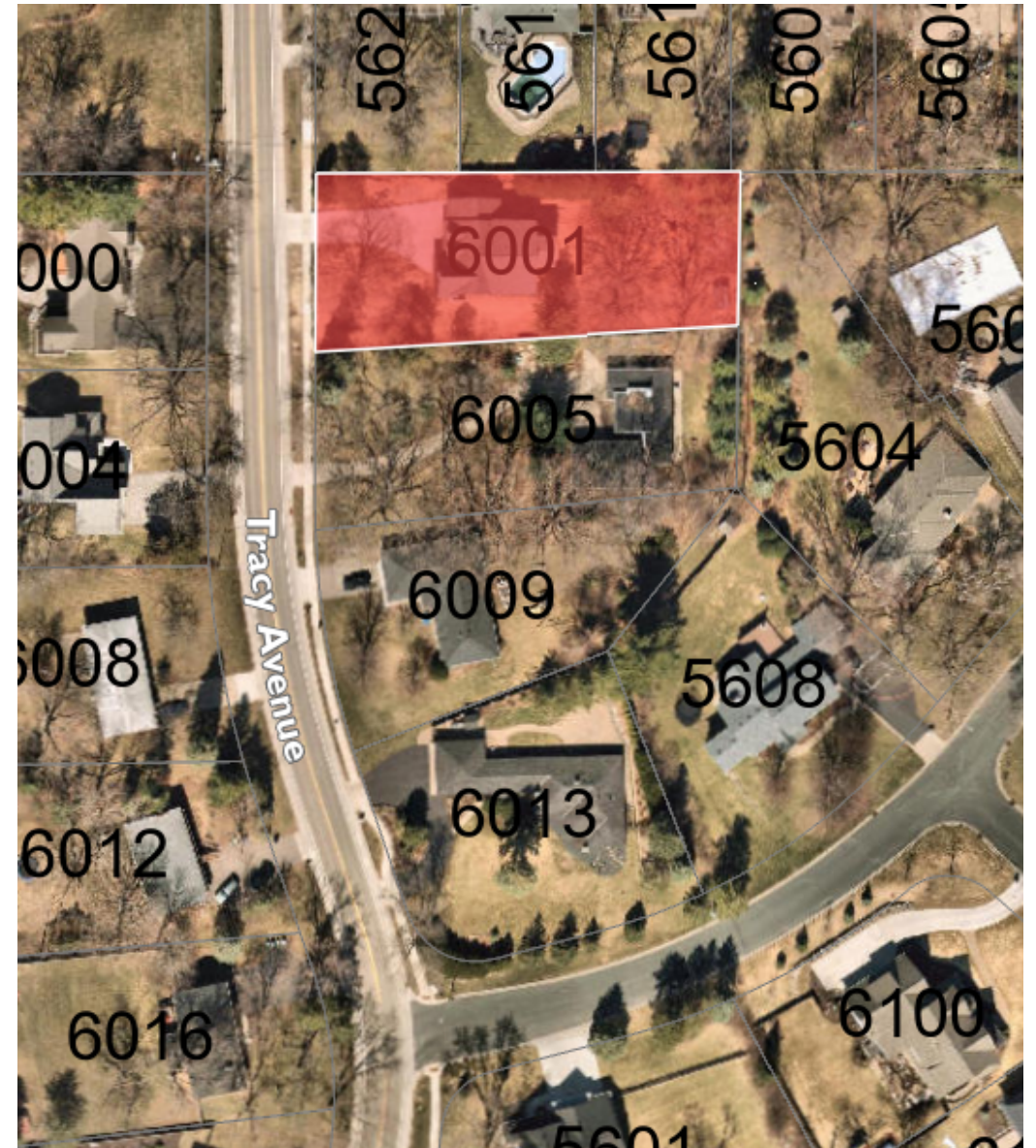
- 6001 Tracy Ave
 - New home was pushed back 38.5 feet



Front Yard Setback (4)

- 6001 Tracy

	Existing Setback (ft)	Required Setback (ft)	Required Change (ft)
6001	72.64	72.63	0
6005	144.2	48.78	+13.68
6009	36.1	84.81	+12.85
6013	37.6	36.1	0



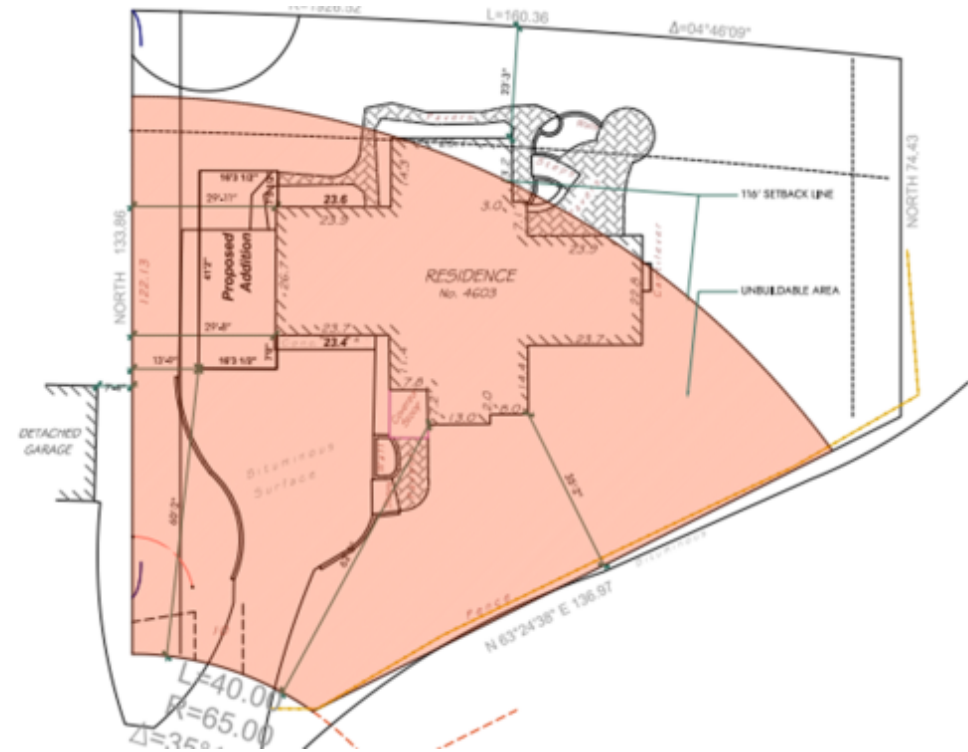
Front Yard Setback (5)

- 4603 Merilane
 - Variance approved in 2024 from 116 foot required front setback



Front Yard Setback (6)

- 4603 Merilane
 - Variance approved in 2024 from 116 foot required front setback



Front Yard Setback (7)

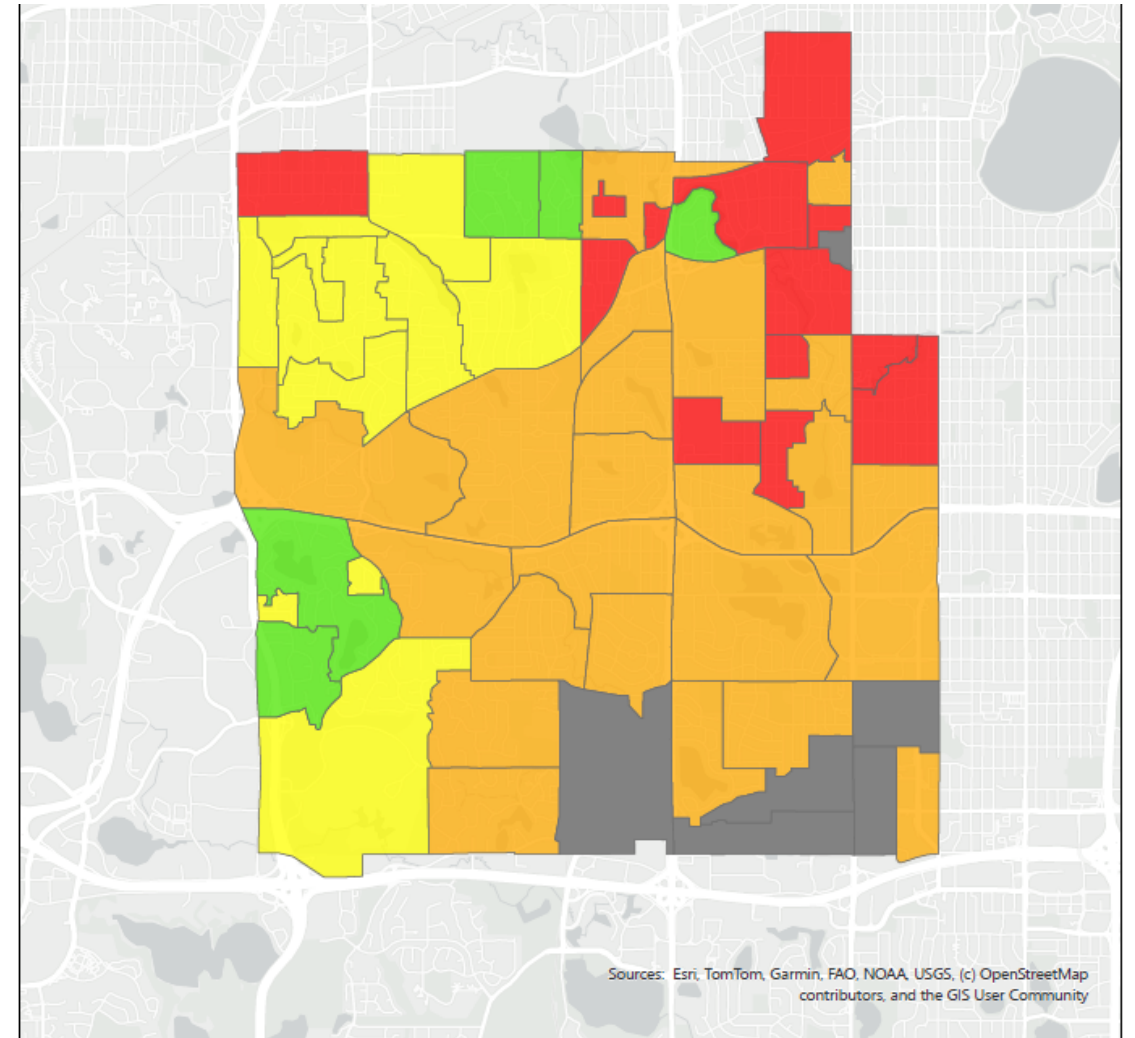
- 7202 Shannon Drive
 - Variance approved in 2025 from 264 foot required setback



R-1 Subareas (1)

- Issues with median standard
 - Restrictive
 - Unnecessarily complex
 - The median can increase over time if lots are combined

R-1 District Lot Size Subarea	Minimum Lot Size
A-8	8,712 sq. ft.
A-10	10,000 sq. ft.
A-15	15,000 sq. ft.
A-20	20,000 sq. ft.



Proposed R-1 District Lot Size Subarea Map

Legend

■ A8 ■ A15 ■ NA
■ A10 ■ A20



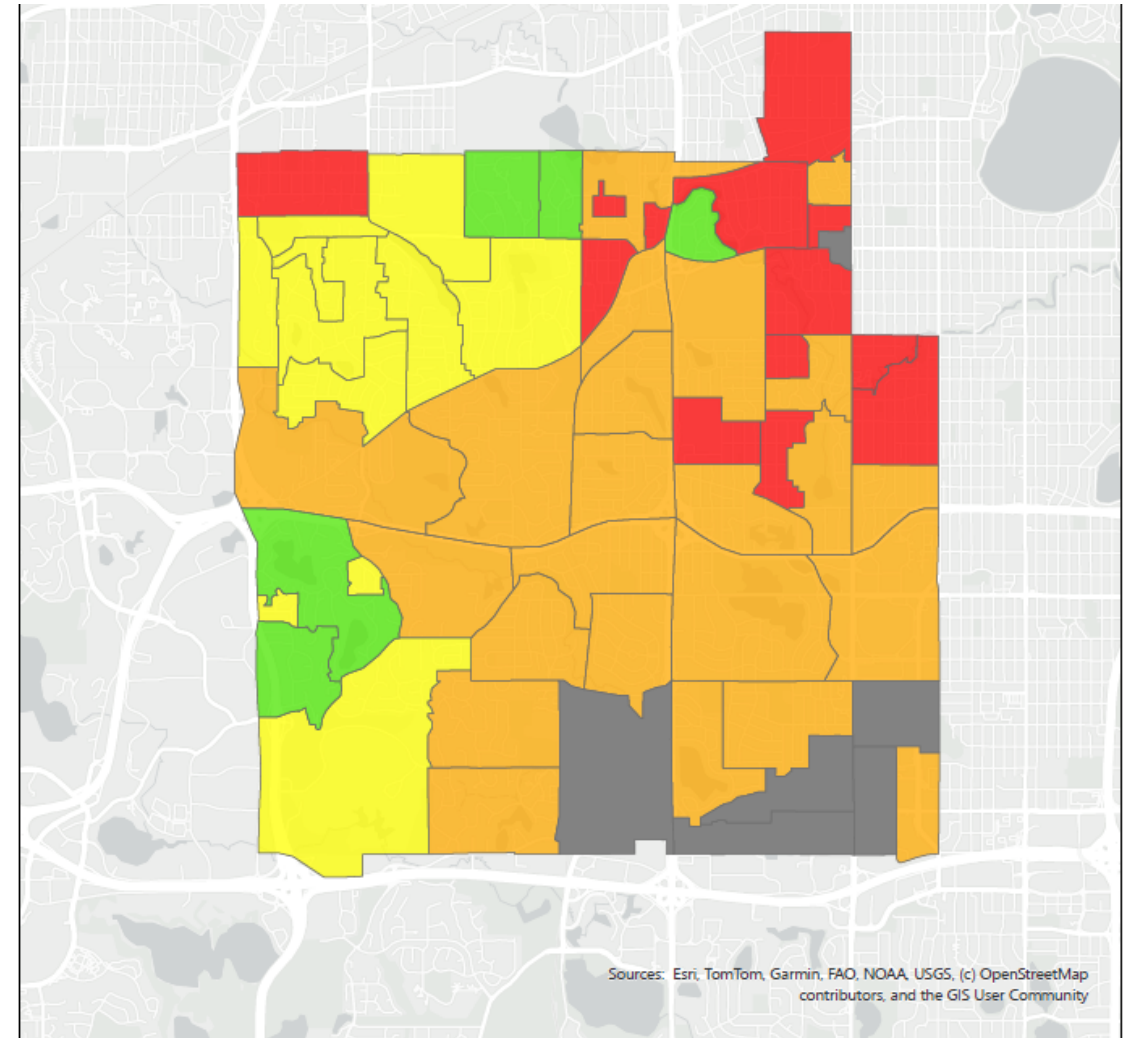
0 0.1 0.2 0.3 Miles



R-1 Subareas (2)

- Goals
 - Simplify / Reduce Cost
 - Establish a fixed standard that won't change based on what neighbors do
 - Allow reasonable lot splits currently prohibited by the code

R-1 District Lot Size Subarea	Minimum Lot Size
A-8	8,712 sq. ft.
A-10	10,000 sq. ft.
A-15	15,000 sq. ft.
A-20	20,000 sq. ft.



Proposed R-1 District Lot Size Subarea Map

Legend

■ A8 ■ A15 ■ NA
■ A10 ■ A20

N

0 0.1 0.2 0.3 Miles

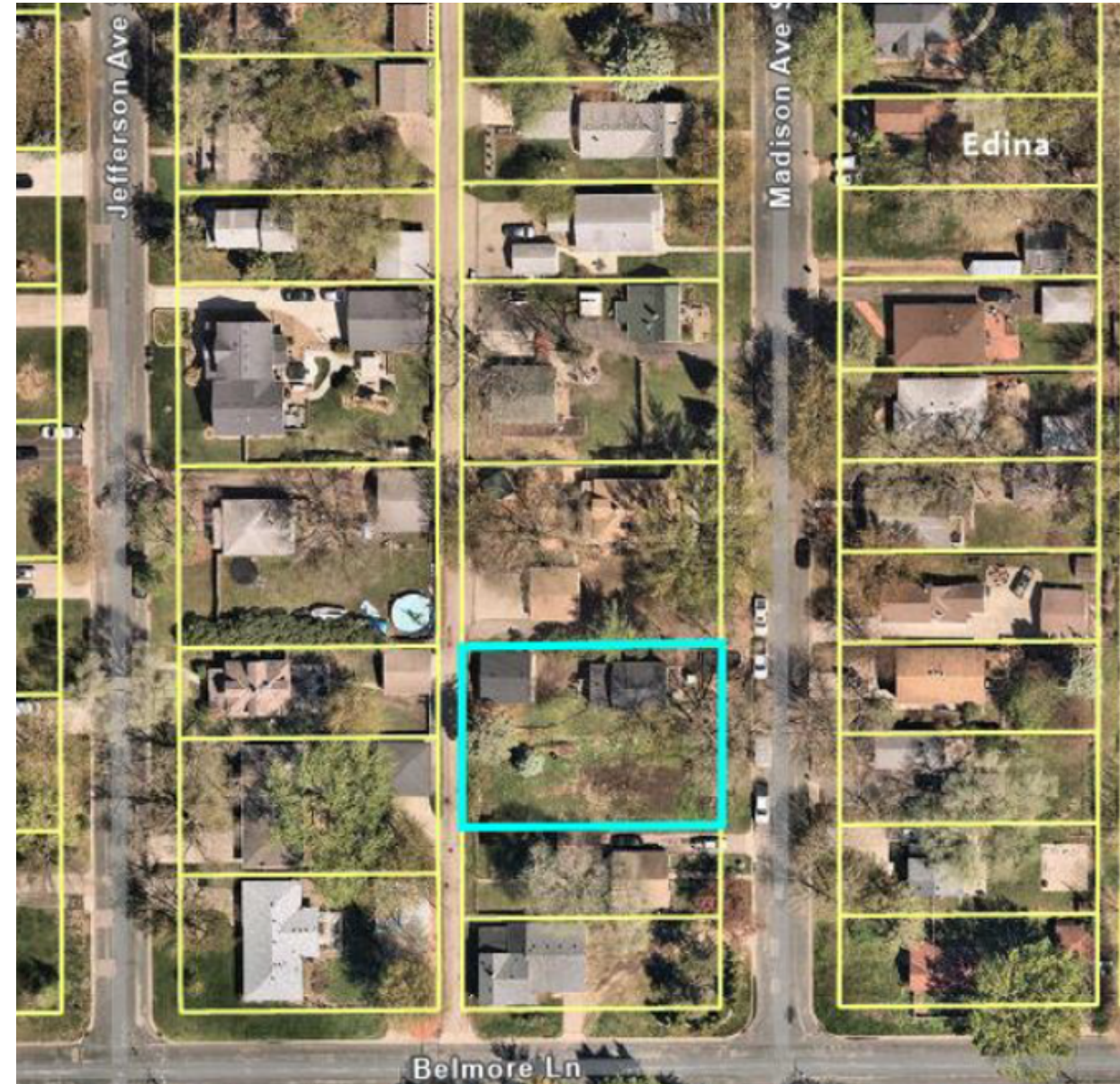
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R-1 Subareas (3)

- 316 Madison (August 2025)

	Area	Lot Width	Depth
Required	9,000 s.f.	75 feet	130.57 feet
Median (lots within 500')	8,120 s.f.	60 feet	130.57 feet
Lot 1	6,004 s.f.*	45.96 feet*	130.61 feet
Lot 2	5,988 s.f.*	45.96 feet*	130.27 feet*

*** Variance Required**



R-1 Subareas (4)

- 6416 McCauley Cir (December 2022)

Lot Dimensions

	Area	Lot Width	Depth	Street Frontage
REQUIRED	18,731 s.f.	102 feet	181 feet	30 feet
Lot 1	16,431 s.f.*	80 feet*	120 feet*	46 feet
Lot 2	19,047 s.f.	190 feet	100 feet*	28.6* (existing condition)

***Variance Required**

